

HISTORIC AND DESIGN REVIEW COMMISSION

September 21, 2022

HDRC CASE NO: 2022-429
ADDRESS: 1009 AVENUE B
LEGAL DESCRIPTION: NCB 457 (88 SOCIAL-FOOD TRUCK PARK), BLOCK 35 LOT 10
ZONING: FBZ T6-2, RIO-3
CITY COUNCIL DIST.: 1
APPLICANT: Aldo Mancilla/Harbat Design
OWNER: ALAMO MILLS DAM LLC
TYPE OF WORK: Metal awning structure installation
APPLICATION RECEIVED: July 19, 2022
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Hannah Leighner

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Install a metal canopy system to feature approximately 1100 square feet on the lot at 1009 Avenue B.
2. Install patio seating and artificial turf on the corner lot.
3. Construct additional fencing on site to enclose the lot at the corner of Avenue B and 10th Street.

APPLICABLE CITATIONS:

UDC Sec. 35-674.01. - Building Design Principles in RIOs 1 through 6.

This section provides policies and standards for the design of commercial, multi-family developments in excess of eight (8) units, and single-family developments in excess of five (5) units or five (5) acres, institutional developments, and industrial buildings within the river improvement overlay districts. In general, principles focus on promoting buildings that will be compatible in scale and appear to "fit" in the community by using materials and forms that are part of the San Antonio design traditions. The policies and standards also promote designs that enhance the streets in the area, as well as the Riverwalk, as places for pedestrians. As such, the policies and guidelines address only broad-scale topics and do not dictate specific design solutions, architectural styles, or details with the exception that the standards for "RIO-3" contain more specific requirements.

(a) Architectural Character. A basic objective for architectural design in the river improvement overlay districts is to encourage the reuse of existing buildings and construction of new, innovative designs that enhance the area, and help to establish distinct identities for each of the zone districts. At the same time, these new buildings should reinforce established building traditions and respect the contexts of neighborhoods.

When a new building is constructed, it shall be designed in a manner that reinforces the basic character-defining features of the area. Such features include the way in which a building is located on its site, the manner in which it faces the street and its orientation to the river. When these design variables are arranged in a new building to be similar to those seen traditionally, visual compatibility results.

(b) Mass and Scale. A building shall appear to have a "human scale." In general, this scale can be accomplished by using familiar forms and elements interpreted in human dimensions. Exterior wall designs shall help pedestrians establish a sense of scale with relation to each building. Articulating the number of floors in a building can help to establish a building's scale, for example, and prevent larger buildings from dwarfing the pedestrian. (1) Express facade components in ways that will help to establish building scale. A. Treatment of architectural facades shall contain a discernable pattern of mass to void, or windows and doors to solid mass. Openings shall appear in a regular pattern or be clustered to form a cohesive design. Architectural elements such as columns, lintels, sills, canopies, windows and doors should align with other architectural features on the adjacent facades. (2) Align horizontal building elements with others in the blockface to establish building scale. A. Align at least one (1) horizontal building element with another horizontal building element on the same block face. It will be considered to be within alignment if it is within three (3) feet, measured vertically, of the existing architectural element. (3) Express the distinction between upper and lower floors. A. Develop the first floor as primarily transparent. The building facade facing a major street shall have at least fifty (50) percent of the street level facade area devoted to display windows and/or windows affording some view into

the interior areas. Multi-family residential buildings with no retail or office space are exempt from this requirement. (4) Where a building facade faces the street or river and exceeds the maximum facade length allowed in Table 674-1 divide the facade of building into modules that express traditional dimensions. A. The maximum length of an individual wall plane that faces a street or the river shall be as shown in Table 674-1.

Table 674-1

| Description | RIO-1 | RIO-2 | RIO-3 | RIO-4 | RIO-5 | RIO-6 |
|-----------------------|-------|-------|--------|--------|--------|----------------------|
| Maximum Facade Length | | | 50 ft. | 50 ft. | 30 ft. | 75 ft. 75 ft. 50 ft. |

B.If a building wall plane facing the street or river and exceeds the length allowed in Table 674-1, employ at least two (2) of the following techniques to reduce the perceived mass:

- Change materials with each building module to reduce its perceived mass; or
- Change the height with each building module of a wall plane. The change in height shall be at least ten (10) percent of the vertical height; or
- Change the roof form of each building module to help express the different modules of the building mass; or
- Change the arrangement of windows and other facade articulation features, such as, columns, pilasters or strap work, which divides large planes into smaller components.

(5) Organize the Mass of a Building to Provide Solar Access to the River. (see Figure 674-1).
35-674b5

A. One (1) method of doing so is to step the building down toward the river to meet the solar access requirements of subsection 35-673(a).

B. Another method is to set the building back from the river a distance sufficient to meet the solar access requirements of subsection 35-673(a). (6) Except in RIO-3, for properties greater than three (3) sides abutting the river, organize the mass of the building(s) to create a courtyard facing the river with one (1) open side to the river. (c)Height. Building heights vary along the river corridor, from one-story houses to high-rise hotels and apartments. This diversity of building heights is expected to continue. However, within each zone, a general similarity in building heights should be encouraged in order to help establish a sense of visual continuity. In addition, building heights shall be configured such that a comfortable human scale is established along the edges of properties and views to the river and other significant landmarks are provided while allowing the appropriate density for an area.(1) The maximum building height shall be as defined in Table 674-2.A.Solar access standards subsection 35-673(a), and massing standards subsection 35-674(b) also will affect building heights.

Table 674-2

| Description | RIO-1 | RIO-2 | RIO-3 | RIO-4 | RIO-5 | RIO-6 |
|------------------------|-------|--------|---------|-------|--------|---------------|
| Maximum # of Stories | 5 | 10 | None | 7 | 5 | 4 |
| Maximum Height in Feet | | 60 ft. | 120 ft. | None | 84 ft. | 60 ft. 50 ft. |

(2) Organize the mass of the building to step back from established residential neighborhoods. Where a commercial, mixed-use residential, multi-family or industrial use abuts a single-family residential development, or is across the street from a single-family residential development, the following standards shall apply:

The massing of the building shall not exceed twenty-five (25) feet in height at the setback line. The building mass can continue upward within a forty-five-degree building envelope for a distance of fifty (50) feet measured horizontally from the building face, at which point the building massing may continue vertically to the height established in subsection 35-674(c).

(3) On the street-side, the building facade shall appear similar in height to those of other buildings found traditionally in the area.

If fifty (50) percent of the building facades within a block face are predominantly lower than the maximum height allowed, the new building facade on the street-side shall align with the average height of those lower buildings within the block face, or with a particular building that falls within the fifty (50) percent range. However, the remainder of the building may obtain its maximum height by stepping back fifteen (15) feet from the building face.

(4) Designation of a development node provides for the ability to increase the building height by fifty (50) percent from the requirements set out in article VI. (d)Materials and Finishes. Masonry materials are well established as primary

features along the river corridor and their use should be continued. Stucco that is detailed to provide a texture and pattern, which conveys a human scale, is also part of the tradition. In general, materials and finishes that provide a sense of human scale, reduce the perceived mass of a building and appear to blend with the natural setting of the river shall be used, especially on major structures. (1) Use indigenous materials and traditional building materials for primary wall surfaces. A minimum of seventy-five (75) percent of walls (excluding window fenestrations) shall be composed of the following:

- A. Modular masonry materials including brick, stone, and rusticated masonry block, tile, terra-cotta, structural clay tile and cast stone. Concrete masonry units (CMU) are not allowed.
- B. Other new materials that convey the texture, scale, and finish similar to traditional building materials.
- C. Stucco and painted concrete when detailed to express visual interest and convey a sense of scale.
- D. Painted or stained wood in a lap or shingle pattern. (2) The following materials are not permitted as primary building materials and may be used as a secondary material only: A. Large expanses of high gloss or shiny metal panels. B. Mirror glass panels. Glass curtain wall buildings are allowed in RIO-3 as long as the river and street levels comply with 35-674(d)(1) above. (3) Paint or Finish Colors. A. Use natural colors of indigenous building materials for properties that abut the Riverwalk area. B. Use matte finishes instead of high glossy finishes on wall surfaces. Wood trim and metal trim may be painted with gloss enamel. C. Bright colors may highlight entrances or architectural features. (e) Facade Composition. Traditionally, many commercial and multi-family buildings in the core of San Antonio have had facade designs that are organized into three (3) distinct segments: First, a "base" exists, which establishes a scale at the street level; second a "mid-section," or shaft is used, which may include several floors. Finally, a "cap" finishes the composition. The cap may take the form of an ornamental roof form or decorative molding and may also include the top floors of the building. This organization helps to give a sense of scale to a building and its use should be encouraged. In order to maintain the sense of scale, buildings should have the same setback as surrounding buildings so as to maintain the street-wall pattern, if clearly established.

In contrast, the traditional treatment of facades along the riverside has been more modest. This treatment is largely a result of the fact that the riverside was a utilitarian edge and was not oriented to the public. Today, even though orienting buildings to the river is a high priority objective, it is appropriate that these river-oriented facades be simpler in character than those facing the street.

- (1) Street Facade. Buildings that are taller than the street-wall (sixty (60) feet) shall be articulated at the stop of the street wall or stepped back in order to maintain the rhythm of the street wall. Buildings should be composed to include a base, a middle and a cap. A. High rise buildings, more than one hundred (100) feet tall, shall terminate with a distinctive top or cap. This can be accomplished by: i. Reducing the bulk of the top twenty (20) percent of the building by ten (10) percent. ii. By stepping back the top twenty (20) percent of the building. iii. Changing the material of the cap. B. Roof forms shall be used to conceal all mechanical equipment and to add architectural interest to the structure. C. Roof surfaces should include strategies to reduce heat island effects such as use of green roofs, photo voltaic panels, and/or the use of roof materials with high solar reflectivity. (2) Fenestration. Windows help provide a human scale and so shall be proportioned accordingly. A. Windows shall be recessed at least two (2) inches within solid walls (not part of a curtain wall system). B. Windows should relate in design and scale to the spaces behind them. C. Windows shall be used in hierarchy to articulate important places on the facade and grouped to establish rhythms. D. Curtain wall systems shall be designed with modulating features such as projecting horizontal and/or vertical mullions. (3) Entrances. Entrances shall be easy to find, be a special feature of the building, and be appropriately scaled. A. Entrances shall be the most prominent on the street side and less prominent on the river side. B. Entrances shall be placed so as to be highly visible. C. The scale of the entrance is determined by the prominence of the function and or the amount of use. D. Entrances shall have a change in material and/or wall plane. E. Entrances should not use excessive storefront systems. (4) Riverside facade. The riverside facade of a building shall have simpler detailing and composition than the street facade. A. Architectural details such as cornices, sills, lintels, door surrounds, water tables and other similar details should use simple curves and handcrafted detailing. B. Stone detailing shall be roughhewn and chiseled faced. Smooth faced stone is not permitted as the primary building material but can be used as accent pieces. C. Facades on the riverside shall be asymmetrical, pedestrian scale, and give the appearance of the back of a building. That is, in traditional building along the river, the backs of building were designed with simpler details, and appear less formal than the street facades. (f) Staircases. (1) Staircases to the River Level Shall be Uniquely Designed. A. Stairs shall not replicate other stairs in a single project. B. Stairs shall be constructed of handcrafted materials. The applicant shall use traditional building materials. C. Stairs shall not exceed ten (10) feet in width. (g) Awnings, Canopies and Arcades. (See Figure 674-2) The tradition of sheltering sidewalks with awnings, canopies and arcades on commercial and multi-family buildings is well established in San Antonio and is a practice that should be continued. They offer shade from the hot

summer sun and shelter from rainstorms, thereby facilitating pedestrian activity. They also establish a sense of scale for a building, especially at the ground level. Awnings and canopies are appropriate locations for signage. Awnings with signage shall comply with any master signage plan on file with the historic preservation officer for the property. Awnings and canopies installed at street level within the public right-of-way require licensing with the city's capital improvements management services (CIMS) department. Canopies, balconies and awnings installed at river level within the public right-of-way require licensing with the city's downtown operations department.

35-674g

- (1) If awnings, arcades and canopies are to be used they should accentuate the character-defining features of a building.
- A. The awning, arcade or canopy shall be located in relationship to the openings of a building. That is, if there are a series of awnings or canopies, they shall be located at the window or door openings. However, awnings, canopies and arcades may extend the length of building to provide shade at the first floor for the pedestrian.
- B. Awnings, arcades and canopies shall be mounted to highlight architectural features such as moldings that may be found above the storefront.
- C. They should match the shape of the opening.
- D. Simple shed shapes are appropriate for rectangular openings.
- E. Odd shapes and bubble awnings are prohibited except where the shape of an opening requires a bubble awning, or historic precedent shows they have been previously used on the building.
- F. Canopies, awnings and arcades shall not conflict with the building's proportions or with the shape of the openings that the awning or canopy covers.
- G. Historic canopies shall be repaired or replaced with in-kind materials.

(2) Materials and Color.

- A. Awnings and canopies may be constructed of metal, wood or fabric. Certain vinyl is allowed if it has the appearance of natural fiber as approved by the HDRC.
- B. Awning color shall coordinate with the building. Natural and earth tone colors are encouraged. Fluorescent colors are not allowed. When used for signage it is appropriate to choose a dark color for the canopy and use light lettering for signage.

(3) Incorporating lighting into the design of a canopy is appropriate.

- A. Lights that illuminate the pedestrian way beneath the awning are appropriate.
- B. Lights that illuminate the storefront are appropriate.
- C. Internally illuminated awnings that glow are prohibited.

(Ord. No. 95352 § 3 Attachment 2) (Ord. No. 2010-06-24-0616, § 2, 6-24-10) (Ord. No. 2011-03-31-0240, § 2, 3-31-11; Ord. No. 2016-10-13-0798, § 1(Att. A), 10-13-16)

Editor's note— Ord. No. 2016-10-13-0798 , § 1(Att. A), adopted October 13, 2016, redesignated the former section 35-674 as section 35-674.01. The historical notation has been preserved for reference purposes.

FINDINGS:

- a. The property located at 1009 Avenue B is located within the River Improvement Overlay, District 3, and currently features outdoor dining and seating.
- b. VIOLATION – The applicant constructed a metal canopy structure with an approximate area of 1100 square feet without receiving the required city permits or approval from the Office of Historic Preservation. Additionally, the applicant constructed additional seating, canopy and patio elements at the square lot at the corner of Avenue B and 10th Street without permits or approval from OHP. Staff performed a site visit at the property on August 9, 2022, to assess the structure and its impact on the site. At this time staff has identified table umbrellas with logos that are prohibited per the UDC section 35-678. OHP staff performed a second site visit on August 25, 2022.
- c. PREVIOUS APPROVAL – At the December 18, 2019, Historic and Design Review Commission hearing, the applicant received approval from the Historic and Design Review Commission to perform site work and grading, install patio elements including fabric canopies for shading, construction a patio deck, install shipping containers for outdoor an outdoor bar, cooler and storage and to install metal fences and gates on site. This scope of work was limited to the lot addressed as 1009 Avenue B, and did not include the square lot at the corner of Avenue B and 10th Street.
- d. CANOPY INSTALLATION – The UDC Guidelines Section 35-674(g), state that awning and canopy structures should accentuate the character-defining properties of the building; awnings shall be mounted to highlight architectural features of an existing storefront or match the shape of the existing building. There are no existing

structures on the lot, which otherwise features a bar and seating area within a fenced perimeter. As proposed, the canopies would cover the majority of the existing lot and serve as an open air pavilion. Staff does not find the proposed installation to be appropriate or consistent with the UDC.

- e. PATIO EXPANSION – The applicant has proposed to expand the previously approved patio seating area, construct a performance stage, and install seating on lot at the corner of Avenue B and 10th Street. This lot is currently unaddressed. Additionally, the applicant has proposed to screen the proposed seating with unpainted wood lattice. The applicant has proposed to install artificial turf and wood picnic tables.
- f. PATIO EXPANSION (Patio Materials) – The UDC Section 35-673(i) provides standards for street furnishings and patio materials. This section of the UDC notes that tables, chairs, umbrellas, landscape pots, wait stations, valet stations, kiosks, etc. are to be made of wood, metal, stone, terra cotta, cast stone, hand-sculpted concrete, or solid surfacing materials. Inexpensive plastic resin furnishings are prohibited. Additionally, the UDC notes that no commercial logos, trademarks, decals, product names or names of businesses and organizations shall be allowed on street furnishings. Staff finds that various elements of the proposed patio installation are in violation of the UDC. Staff finds that all patio materials, as described in the UDC Section 35-673(i) shall be consistent with the UDC.
- g. FENCING – The applicant has proposed to install metal fencing on site to enclose the lot at the corner of Avenue B and 10th Street. The proposed fencing will be installed to match that which is currently in existence on site, which was approved by the Commission in December 2021. Generally, staff finds the profile and location of the proposed fencing to be appropriate.
- h. SAN ANTONIO RIVER AUTHORITY COORDINATION – Per the UDC Section 35-672(c)8, consultation with the San Antonio River Authority regarding direct access to the San Antonio River, landscaping and maintenance boundaries and storm water control measures prior to the submission for a Certificate of Appropriateness. The applicant is responsible for complying with this section of the UDC.
- i. DRAINAGE – The San Antonio River Authority and Public Works Department have previously reviewed impacts to this site and have determined best practices for low impact development and water drainage. The proposed canopies would alter those previous calculations.

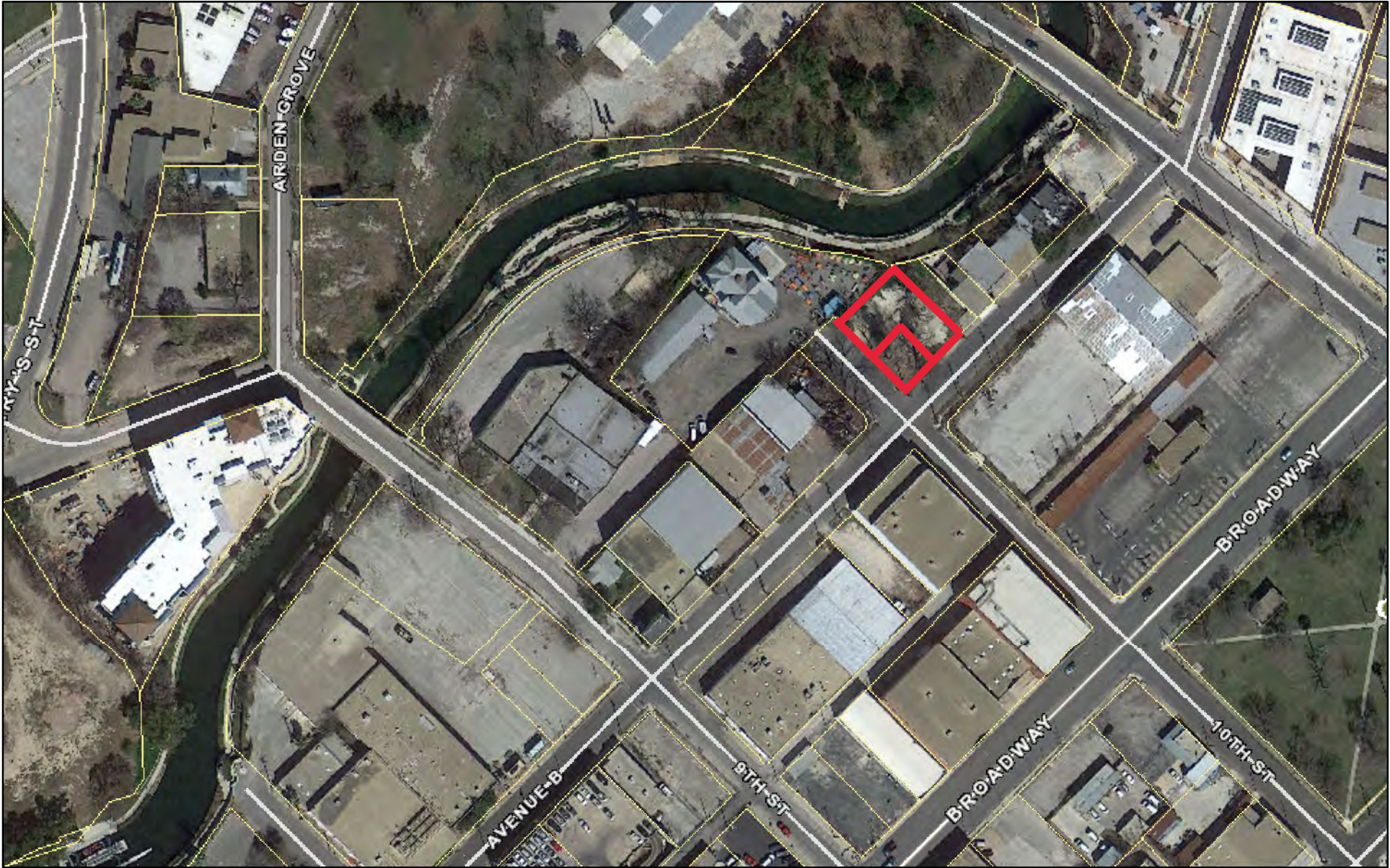
RECOMMENDATION:

1. Staff recommends approval of item #1, the construction of a canopy over the existing patio elements based on finding d.
2. Staff recommends approval of item #2, the installation of patio seating elements and artificial turf on the corner lot, as noted in finding f. Elements that are consistent with those described in the UDC may be installed after being approved.
3. Staff recommends approval of item #3, the installation of fencing, based on finding f.


Per the UDC Section 35-672(c)(8), the applicant is required to consult with the San Antonio River Authority regarding direct access to the San Antonio River, landscaping and maintenance boundaries and storm water control measures prior to the submission for a Certificate of Appropriateness. The applicant is responsible for complying with this section of the UDC.

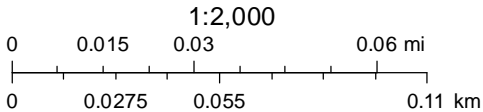
Additionally, staff recommends the applicant coordinate with the City of San Antonio Public Works Department regarding low impact development, water drainage, and impacts to existing infrastructure.

City of San Antonio One Stop



September 15, 2022

 User drawn lines



EL CAMINO

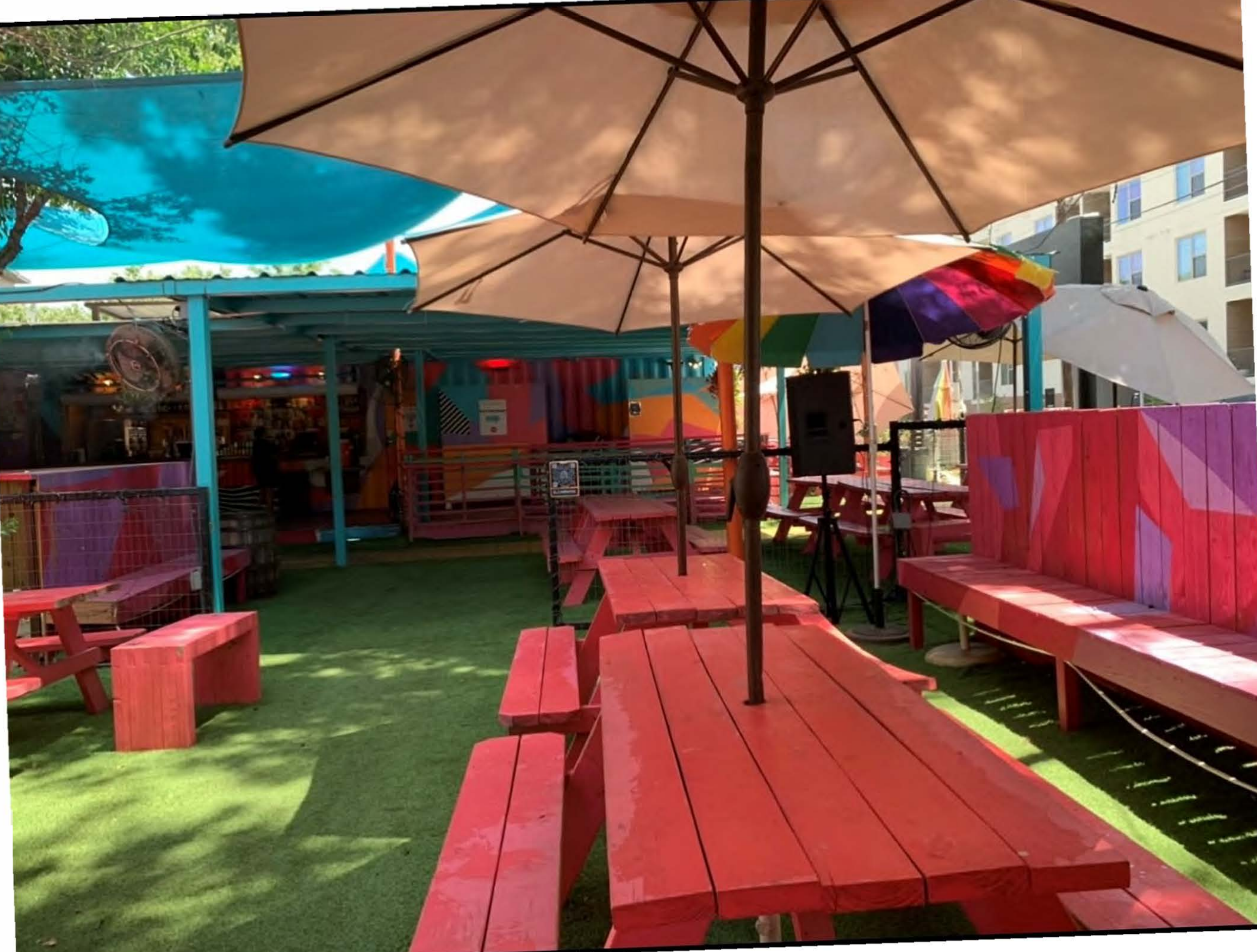
1009

- NOTICE -

IT IS UNLAWFUL FOR A PERSON TO CARRY
A CONCEALED WEAPON WITHOUT A
PERMIT LICENSE UNDER SOUTH CAROLINA
A.C. 16-7-20


FIREARMS ARE PROHIBITED
ON THESE PREMISES.
REGARDLESS OF
A CONCEALED-CARRY PERMIT

ADT











SITE PLAN NOTES

PROJECT STATISTICS:

LOT: XX
LOT SIZE: X.XXX ACRES

SITE PLAN NOTES:

SITE SURVEY TO VERIFY PIN LOCATIONS AND HOME LOCATION PRIOR TO EXCAVATION. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES. ALL FINISH GRADES SHALL BE SMOOTH AND UNIFORM.

PROJECT NARRATIVE:

THE PROPOSED SITE LOCATION IS SAN ANTONIO, TX, BEXAR COUNTY. THE PROPOSED PROJECT INCLUDES A SINGLE-FAMILY RESIDENCE.

EROSION CONTROL NOTES:

1. MINIMIZE SITE DISTURBANCE BY TIGHT CONTROL OF EXCAVATION LIMITS.

GRADING NOTES:

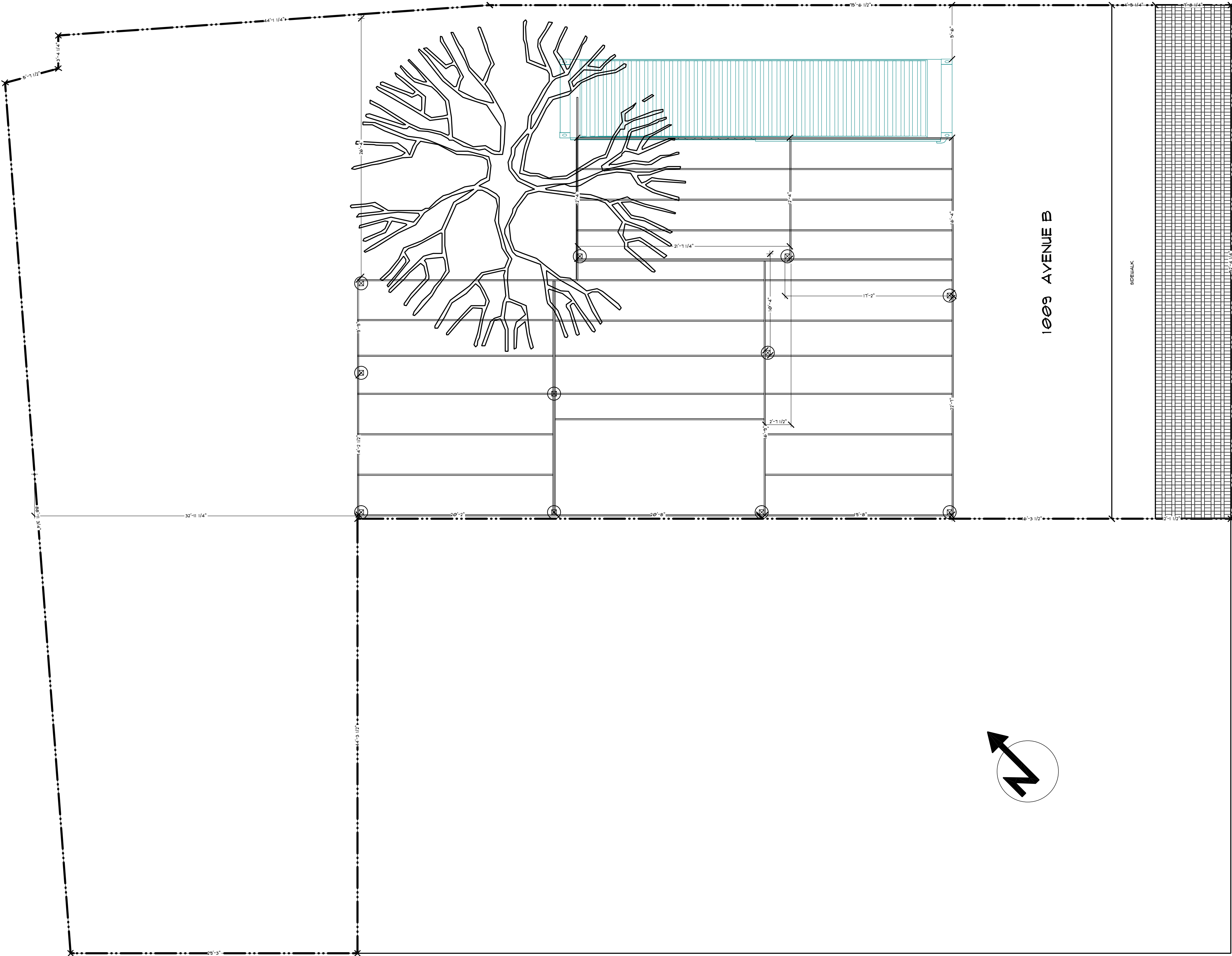
1. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
2. ALL FINISH GRADES SHALL BE SMOOTH AND UNIFORM.
3. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
4. FINAL GRADE TO CONVEY SURFACE DRAINAGE TOWARD ROCK CHANNELS AND DISPERSION TRENCHES.
5. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL AND STRIPPED OF TOPSOIL.

LANDSCAPE NOTES:

1. OWNER RESPONSIBLE FOR LANDSCAPING - SUCH AS LAWN, TREES, SHRUBS, ETC.
2. IRRIGATION SYSTEM SHALL BE STUBBED IN WITH VALVE BOX AND IRRIGATION MAIN LINES RUN UNDER CONCRETE OWNER SHALL PROVIDE FINISH HEADS AND LINES.

UTILITY NOTES:

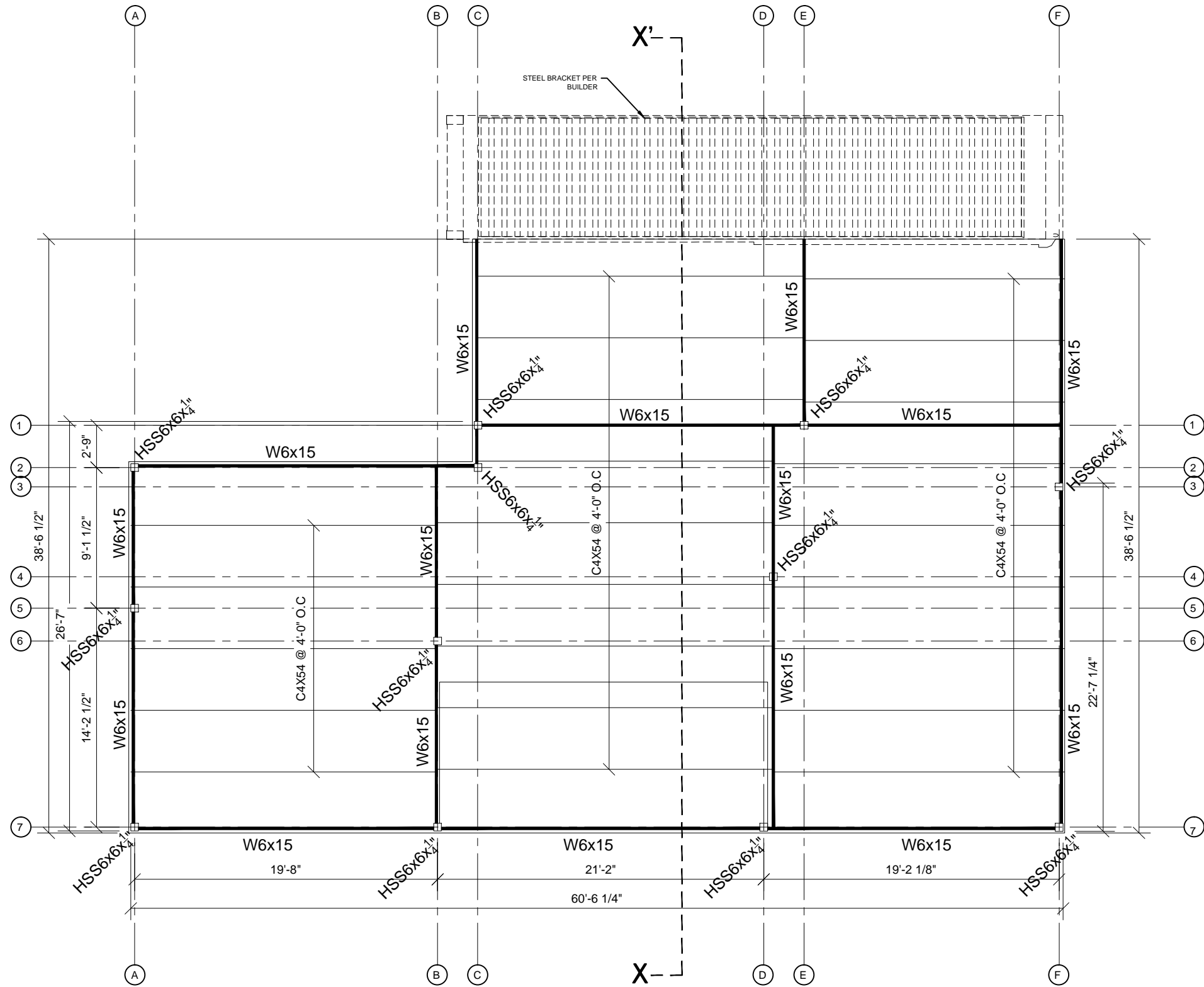
1. BUILDER RESPONSIBLE FOR SEPTIC LOCATION.
2. PROVIDE ELECTRICAL REQUIREMENTS FOR AC.



10TH ST.

AVENUE B

1009 AVENUE B



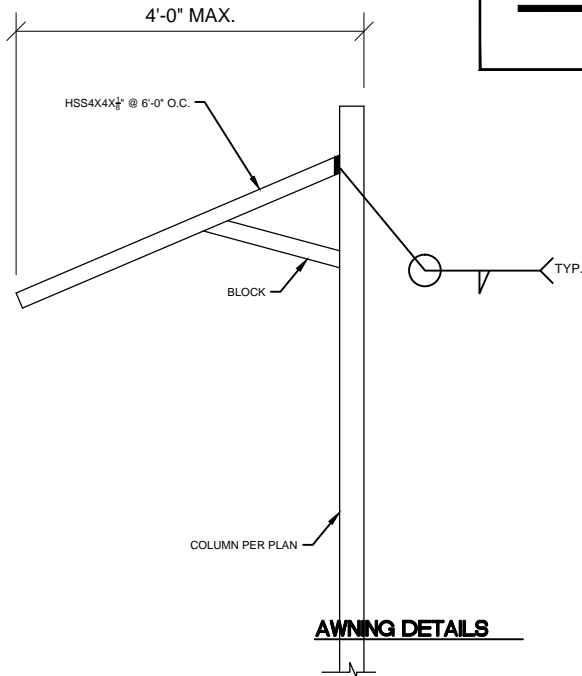
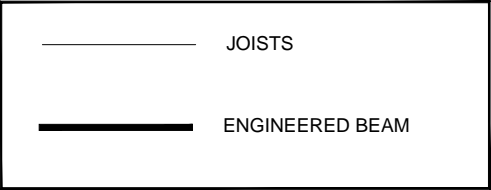
PATIO FRAMING PLAN
1/4"=1'-0" - 30X42

FRAMING PLAN NOTES

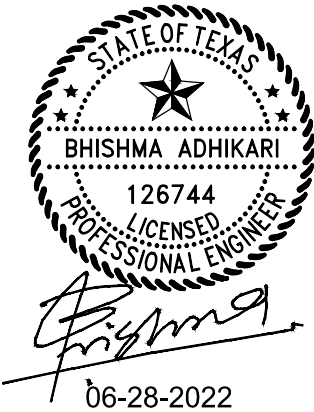
1. SEE ARCHITECTURAL FLOOR PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF WALLS.
2. ALL W SECTION STEEL BEAM TO HSS COLUMN CONNECTIONS NOT SPECIFICALLY CALLED OUT SHALL BE SHEAR PLATE CONNECTIONS PER DETAIL.
3. ALL CONNECTIONS MARKED WITH C SHALL BE A CAP PLATE CONNECTION PER DETAILS.
4. ALL HSS COLUMN TO HSS BEAM CONNECTION SHALL BE MOMENT CONNECTION PER DETAIL # D1.5
5. ALL STRUCTURAL STEEL EXPOSED TO VIEW SHALL MEET THE REQUIREMENTS FOR "ARCHITECTURALLY EXPOSED STRUCTURAL STEEL" PER AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS, SECTION 10 SEE PROJECT SPECIFICATIONS FOR REQUIREMENTS.
6. SEE MECHANICAL PLANS AND SHOP DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF WALL AND ROOF PENETRATIONS.
7. ALL COLUMN BASE PLATE SHALL BE PER DETAIL # D1.1.

VERIFY ALL DIMENSIONS AGAINST ARCHITECTURAL AND ALL OTHER PERTINENT DRAWINGS FOR DETAILS NOT SHOWN ON THE STRUCTURAL DRAWINGS.

LEGEND




NOT TO SCALE



| REVISIONS: | | DESCRIPTIONS | | DATE: | | INITIAL | |
|------------|--|--------------|--|-------|--|---------|--|
| A- REV | | | | | | | |
| B- REV | | | | | | | |
| C- REV | | | | | | | |
| D- REV | | | | | | | |

| | | | | | | | |
|-------------------------|--|-------|--|--------|--|------------|--|
| EL CAMINO AWNING PHOTOS | | | | | | | |
| SUBDIVISION | | | | DATE | | 06-28-2022 | |
| LOT | | BLOCK | | PH/SEC | | JOB NO. | |
| CITY | | | | DRN BY | | RA | |
| CLIENT | | | | CHK BY | | SA | |



B

S

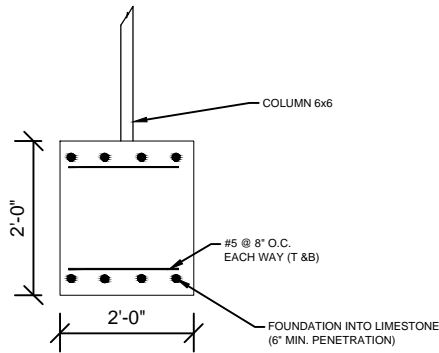
A

STRUCTURAL ENGINEERS

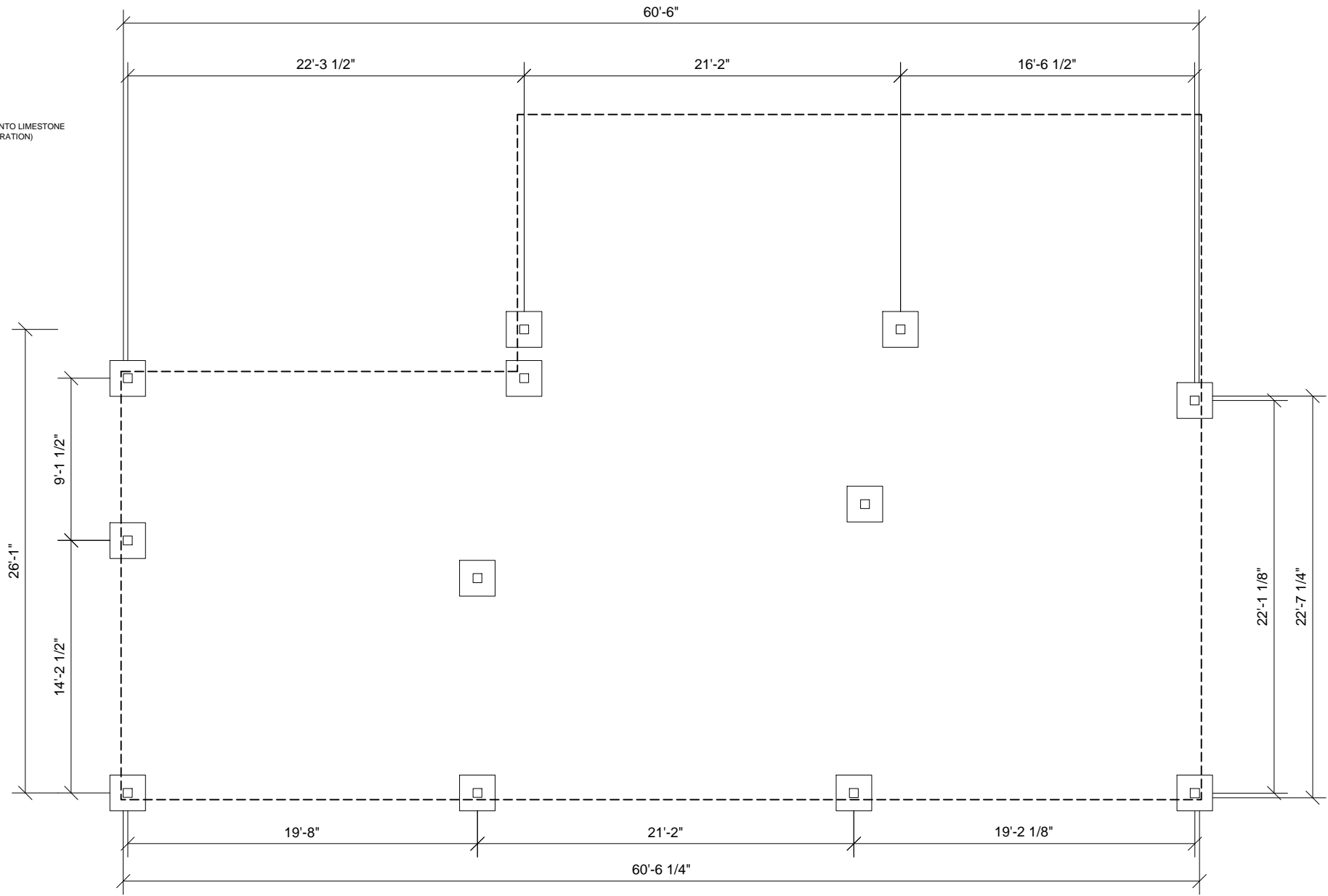
TBPE FIRM LICENSE #: 19354
2911 A.W. GRIMES BLVD, SUITE 203
PFLUGERVILLE, TX 78660
PH: (512)-577-2974
ADMIN@BSA-ENGINEERS.COM
FOUNDATION/FRAMING/
WIND BRACING
INSPECTION

SHEET #

S1 OF 2

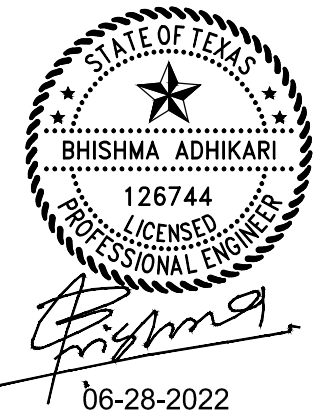


FOOTING DETAILS




FOOTING PLAN

1/8"=1'-0" 11X17 SIZE
1/4"=1'-0" 22X34 SIZE



| REVISIONS: | | | | DESCRIPTIONS | | | | DATE: | | INITIAL | |
|------------|--|--|--|--------------|--|--|--|-------|--|---------|--|
| A-REV | | | | | | | | | | | |
| B-REV | | | | | | | | | | | |
| C-REV | | | | | | | | | | | |
| D-REV | | | | | | | | | | | |

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|-------------------------|--|-------|--------|-------------|--|------|--|------------|--|
| EL CAMINO AWNING PHOTOS | | | | SUBDIVISION | | DATE | | 06-28-2022 | |
| LOT | | BLOCK | PH/SEC | JOB NO. | | | | | |
| CITY | | | | DRN BY | | RA | | | |
| CLIENT | | | | CHK BY | | SA | | | |



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STRUCTURAL ENGINEERS

| | | |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|------------------------|
| TBPE FIRM LICENSE #: 19354 2911 A.W. GRIMES BLVD, SUITE 203 PFLUGERVILLE, TX 78660 PH: (512)-577-2974 ADMIN@BSA-ENGINEERS.COM FOUNDATION/FRAMING/ WIND BRACING INSPECTION | | SHEET # S2 OF 2 |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|------------------------|

GENERAL NOTES

- BSA STRUCTURAL ENGINEERS RESERVES THE RIGHT TO THESE PLANS AS OF THE YEAR DATED.
- ALL CONSTRUCTIONS PRESENTED IN THIS PLAN AND NOT ADDRESSED BY THE PLANS SHALL BE CONSTRUCTED PER TYPICAL CONSTRUCTION METHODS IN COMPLIANCE WITH THE LATEST BUILDING CODE ADOPTED BY THE LOCAL CITIES.
- THE BUILDER SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES, AND SHALL ENSURE CONFORMANCE WITH BEST PRACTICE.
- IF CONDITIONS BE DISCOVERED THAT ARE DIFFERENT THAN THOSE THAT ARE ANTICIPATED IN THE PLANS, CONTACT THE ENGINEER OF THE RECORD FOR ASSISTANCE
- THE BUILDER IS RESPONSIBLE FOR ADEQUATE SHORING, BRACING, FORM WORK, ETC., AS REQUIRED FOR PROTECTION OF LIFE AND PROPERTY, TO SUPPORT ANY CONSTRUCTION LOADS, AND TO MAINTAIN ALL BUILDING COMPONENTS SAFELY IN PLACE PRIOR TO THEIR FINAL ASSEMBLY AND ANCHORAGE INTO THE COMPLETED STRUCTURE.
- IT'S THE CONTRACTOR RESPONSIBILITY TO INSURE THE PUBLIC SAFETY PER OSHA OCCUPATIONAL SAFETY MANUAL.
- ALL HORIZONTAL FRAMING MEMBERS SHALL BE SOLID.

CODE REQUIREMENTS FOR CONSTRUCTION

BUILDING CODE: 2018 INTERNATIONAL BUILDING CODE
CONCRETE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE ACI 318-14.

DESIGN LOADS

1) THE FRAMING HAS BEEN DESIGNED ACCORDING TO THE REQUIREMENTS OF THE 2018 INTERNATIONAL BUILDING CODE.

ULTIMATE DESIGN WIND SPEED $V_{ult} = 115$ mph 3 SECOND GUST
NORMAL DESIGN WIND SPEED $V_{asd} = 90$ MPH 3 SECOND GUST
WIND RISK CATEGORY II
WIND EXPOSURE CATEGORY C
LOW RISE ENCLOSED - INTERNAL PRESSURE COEFF. = +0.18 OR -0.18
WALL COMPONENT AND CLADDING DESIGN PRESSURES
CORNER = +31.9 PSF AND -42.8 PSF (FACTORED LOADS)
FIELD = +31.9 PSF AND -34.8 PSF (FACTORED LOADS)
SEISMIC RISK CATEGORY II
SEISMIC DESIGN CATEGORY A
SEISMIC SITE CLASS D
SEISMIC IMPORTANCE FACTOR = 1.0

THE STRUCTURE HAS BEEN DESIGNED FOR THE FOLLOWING LIVE LOADS.

1. LIVE LOADS
A. GROUND FLOOR 100 PSF
B. ROOF 20 PSF

STRUCTURAL STEEL

1. ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM SPECIFICATION A-36 U.N.O DETAILS AND CONNECTIONS SHALL CONFORM TO AISC STANDARDS.
- STEEL WIDE FLANGE MEMBERS SHALL BE ASTM A992, GRADE 50 KSI.
 - STEEL TUBES SHALL BE ASTM A500, GRADE B, $F_y=46$ KSI.
 - STEEL PIPE SHALL BE ASTM A500, GRADE B, $F_y=42$ KSI MIN.
 - ANCHOR BOLTS SHALL BE ASTM F1554, GRADE 36.
- SPLICES ARE NOT PERMITTED.
• ALL WELDING SHALL CONFORM TO THE AMERICAN WELDING SOCIETY (AWS) CODE.
• ALL STEEL (TUBES, PLATES, BOLTS, ETC) AND SHALL BE CLEANED AND GALVANIZED.

STRUCTURAL COLD FORM STEEL FRAMING

1. DESIGN, FABRICATION, AND ERECTION OG COLD FORM STEEL FRAMING SHALL BE IN ACCORDANCE WITH AISI SPECIFICATIONS, LATEST EDITION, AND LIGHT GAUGE STEEL ENGINEERS ASSOCIATION FIELD INSTALLATION GUIDE. SEE ARCHITECTURAL PLANS FOR STUD WALL DIMENSIONS.
2. ALL COLD FORM STEEL MEMBERS SHALL CONFORM TO ASTM A653/A653M-94 GRADE 50, MINIMUM MATERIAL YIELD STRENGTH OF 50,000 PSI, AND .036" (20 GAUGE) MINIMUM THICKNESS. MISCELLANEOUS CLIPS, BRIDGING, BRACING AND BLOCKING MEMBERS MAY BE GRADE 33 WITH A MINIMUM YIELD STRENGTH OF 33,000 PSI.
3. ALL WELDS SHALL BE MADE IN ACCORDANCE WITH THE STRUCTURAL WELDING CODE AWS D1.3 "STRUCTURAL WELDING CODE - SHEET STEEL" LATEST EDITION.
4. ALL COLD FORM STEEL MATERIAL SHALL HAVE A G60 GALVANIZED COATING. FIELD TOUCH-UP OF DAMAGED GALVANIZED COATING SHALL BE IN ACCORDANCE WITH ASTM A780-93A, "REPAIR OF DAMAGED AND UNCOATED AREAS OF HOT DIP GALVANIZED COATINGS".
5. PROVIDE TEMPORARY BRACING FOR ACCURATE PLUMBING, AND TO RESIST ALL WIND AND CONSTRUCTION LOADS. CONTRACTOR SHALL MAINTAIN TEMPORARY BRACING UNTIL ALL PERMANENT LATERAL BRACING IS INSTALLED AND FUNCTIONING.
6. ALL MECHANICAL FLOOR DECKING SHALL CONSIST OF TWO LAYERS OF FIRE RETARDANT TREATED OSB #2 APA RATED SHEATHING #2 EXPOSURE 1. ATTACH DECKING TO SUPPORT JOISTS AND RIM TRACKS WITH #12 FLAT HEAD TEKs AT 16" ON CENTER.
7. ALL STUDS FOR 6" LOAD-BEARING WALLS SHALL BE MINIMUM 600S162-33 SPACED AT 16" MAXIMUM SPACING. ALL STUDS FOR 4" LOAD-BEARING WALLS SHALL BE MINIMUM 400S162-43 SPACED AT 16" MAXIMUM SPACING. MINIMUM HEADER AT OPENING SHALL BE 2-600S162-43 STUD JOISTS.
8. SEE ARCHITECTURAL PLANS FOR EXACT WALL LOCATIONS AND DIMENSIONS.

STEEL JOISTS

1. ALL STEEL JOISTS SHALL CONFORM TO SPECIFICATIONS OF THE STEEL JOIST INSTITUTE APPLICABLE SERIES. TOP CHORDS SHALL BE ANGLES OR TEE SECTIONS BRIDGING SHALL BE RIGID CROSS-TYPE OR HORIZONTAL TYPES AS INDICATED ON THE DRAWINGS. BRIDGING SHALL BE CONTINUOUS AND TERMINATE AT MASONRY WALLS, CONCRETE WALLS OR STEEL BEAMS.
2. UNLESS OTHERWISE SHOWN, WELD ALL "K" SERIES JOISTS TO STEEL BEARING SEATS WITH #2 FILLET WELDS, TWO INCHES LONG ON EACH SIDE OF THE SEATS.
3. UNLESS OTHERWISE SHOWN, WELD ALL "LH" SERIES JOISTS TO STEEL BEARING SEATS WITH #2 FILLET WELDS, TWO INCHES LONG ON EACH SIDE OF THE SEATS.
4. ALL ROOF JOISTS SHALL BE DESIGNED FOR A NET UPLIFT LOAD OF 10 PSF (ASD) UNIFORMLY DISTRIBUTED OVER THE ROOF AREA.
5. THE JOISTS DESIGNER/ FABRICATOR SHALL DETERMINE THE FINAL BRIDGING REQUIREMENTS, CONFIGURATION AND DETAILS, AND DEPICT THOSE COMPLETELY ON THE SHOP DRAWINGS.

STEEL ROOF DECK

1. THE ROOF DECK SHALL CONSIST OF STEEL PLATE WITH THE FOLLOWING MINIMUM PROPERTIES:

YIELD STRENGTH - 33,000 PSI
GAGE - 22
SECTION MODULES - $S_N=192$ IN³/FT., $S_P = 186$ IN 3/FT
MOMENT OF INERTIA - $I_N=183$ IN⁴/FT., $S_N=192$ IN 3/FT
FINISH - PAINTED
PRODUCT - VULCRAFT 1.5B22 OR EQUAL
STEEL DECK SHALL SPAN A MINIMUM 3 SPANS CONTINUOUS.

DECK SHALL BE CONNECTED TO SUPPORTS IN A 3/64" PATTERN USING HILTI X-HSN 24 FOR BASE MATERIAL FROM 1/8" TO 3/8" AND HILTI X-ENP 19 FOR BASE MATERIAL GREATER THAN OR EQUAL TO 1/4". SIDELAP FASTENERS SHALL BE HILTI S-SLC SCREWS AT 18" MAXIMUM SPACING.

ALTERNATIVELY, DECK MAY BE CONNECTED TO STEEL SUPPORTS BY #12 TEKs USING A 3/64" FASTENING PATTERN AND 3 -#10 TEKs SIDELAP FASTENERS PER SPAN

WELDING OF DECK TO SUPPORTS IS NOT ALLOWED.

- FOLLOW ADDITIONAL INSTALLATION INSTRUCTIONS AND REQUIREMENTS CONTAINED
2. DECK DAMAGED BY BURNING OF HOLES, OVER-WELDING, AND CONSTRUCTION LOADING SHALL BE REPLACED.

MISCELLANEOUS STEEL FABRICATIONS

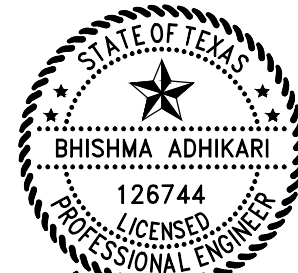
1. ALL STEEL ITEMS OR FABRICATIONS NOT SPECIFICALLY DETAILED ON THE STRUCTURAL OR ARCHITECTURAL DRAWINGS SHALL BE DESIGNED AND DETAILED BY THE STEEL FABRICATOR. PROVIDE STEEL SHOP DRAWINGS AND ERECTION DRAWINGS FULLY DEPICTING THE LOCATION AND FABRICATION OF THESE ITEMS OR ASSEMBLES.
2. THE FOLLOWING ITEMS OR ASSEMBLES ADDITIONALLY REQUIRE ENGINEERING DESIGN AND CERTIFICATION:

- STAIRWAYS AND LANDINGS
- HANDRAILS NOT SHOWN ON THE STRUCTURAL DRAWINGS
- STRUCTURAL CONNECTIONS THAT DEVIATE FROM THE PLANS
- STRUCTURAL CONNECTIONS NOT SHOWN ON THE PLANS

PROVIDE CERTIFICATION BY A LICENSED PROFESSIONAL ENGINEER FOR THESE ITEMS. CERTIFICATION MAY CONSIST OF SEALED SHOP DRAWINGS OR A SEALED LETTER OF CERTIFICATION.

THE DETAILS SHOW ONLY TYPICAL CONDITIONS AND DO NOT REPRESENT EVERY CONDITION. THEY DO NOT CONVEY OR IMPLY THE MEANS AND METHODS TO IMPLEMENT THE DESIGN.

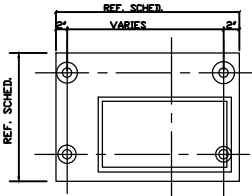
NOT TO SCALE



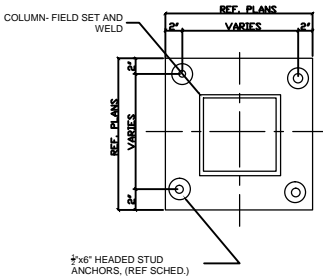
06-28-2022

| COLUMN | PLATE | # STUDS | COLUMN | PLATE | # STUDS |
|---------|-----------|---------|----------|-----------|---------|
| HSS 3x3 | 8"x8" # | 4 | HSS 6x6 | 12"x12" # | 4 |
| HSS 3x3 | 8"x8" # | 4 | HSS 12x6 | 14"x12" # | 4 |
| HSS 6x6 | 10"x12" # | 4 | P10 | 14"x14" # | 4 |

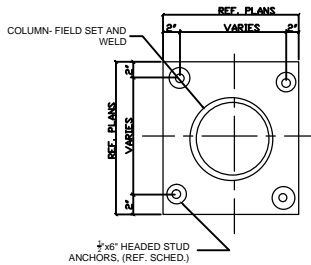
T.O STL. COL. EMBED PLATE TO FIN. FLR. DIMENSION VARIES.
3" BELOW FINISH FLOOR AT ALL COLUMN LOCATIONS.
NOTE: COORDINATE ALL COL. BASE PL'S WITH FOUNDATION PLAN



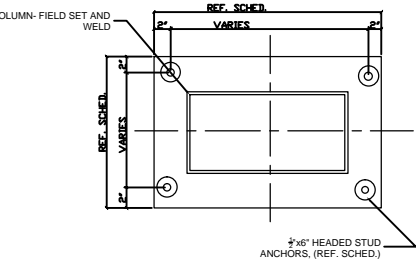
PLAN (OFFSET RECT. HSS COL.)



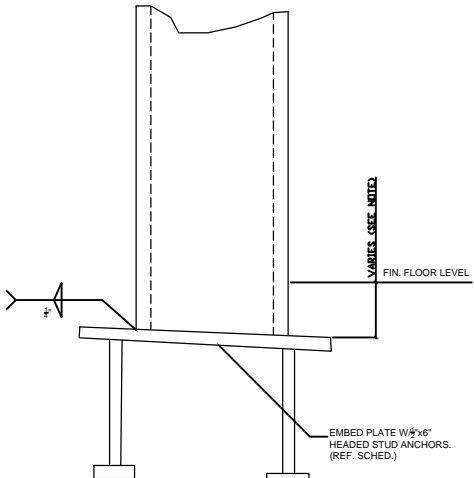
PLAN (TYP. SQ. HSS COL.)



PLAN (TYP. PIPE OR HSS ROUND COL.)

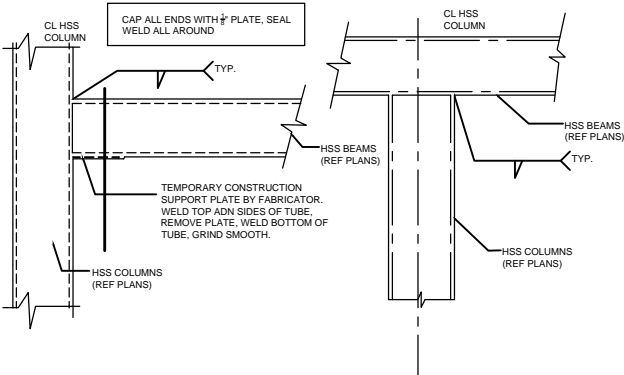


PLAN (TYP. RECT. HSS COL.)



ELEVATION (TYP. HSS COL.)

NOTE:
AT CONTRACTOR'S OPTION FABRICATOR MAY PROVIDE STD HEX HEAD ANCHOR BOLTS ALL APPROVED DESIGN AND DETAILING BY OTHERS.



D2.8 STEEL TUBE FRAMING CONNECTIONS

| BEAM SIZE | WEB PL. 'L' | WEB PL. 'T' | NO. WEB BOLTS | WEB PL. WELD | FLANGE PL. 'T' | FLANGE PL. 'L' V-W | FLANGE PL. WELD |
|-----------|-------------|-------------|---------------|--------------|----------------|--------------------|-----------------|
| WB | 6" | 1/4" | 2 | 3/16" | 3/8" | | 1/4" |
| WB10 | 6" | 3/8" | 2 | 1/4" | 3/8" | | 1/4" |
| WB12 | 9" | 3/8" | 3 | 1/4" | 1/2" | | 3/8" |
| WB14WB16 | 1'-0" | 7/16" | 4 | 1/4" | 1/2" | | 3/8" |
| WB18 | 1'-0" | 7/16" | 5 | 1/4" | 5/8" | | 7/16" |
| WB21WB24 | 1'-0" | 1/2" | 6 | 5/16" | 5/8" | | 7/16" |
| WB27WB30 | 2'-0" | 1/2" | 8 | 5/16" | 3/4" | | 1/2" |
| WB33WB36 | 2'-0" | 5/8" | 10 | 3/8" | 3/4" | | 1/2" |

FRAMING DETAILS

| REVISIONS: | DESCRIPTIONS | DATE: | INITIAL | EL CAMINO AWNING PHOTOS | | | | | TBPE FIRM LICENSE #: 19354 2911 A.W. GRIMES BLVD, SUITE 203 PFLUGERVILLE, TX 78660 PH: (512)-577-2974 ADMIN@BSA-ENGINEERS.COM FOUNDATION/FRAMING/ WIND BRACING INSPECTION | SHEET # N1 OF 1 |
|------------|--------------|-------|---------|-------------------------|-------|--------|------------|----|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------|
| A- REV | | | | SUBDIVISION | | DATE | 06-28-2022 | | | |
| B- REV | | | | LOT | BLOCK | PH/SEC | JOB NO. | | | |
| C- REV | | | | CITY | | | DRN BY | RA | | |
| D- REV | | | | CLIENT | | | CHK BY | SA | | |

The pink-colored awning (pictured) constructed in violation has been removed and is no longer a part of this request.



The pink-colored awning (pictured) constructed in violation has been removed and is no longer a part of this request.



The pink-colored awning (pictured)
constructed in violation has been removed
and is no longer a part of this request.







EL CAMINO
RESTROOMS



NO OPEN
ALCOHOL
BEYOND
THIS
POINT





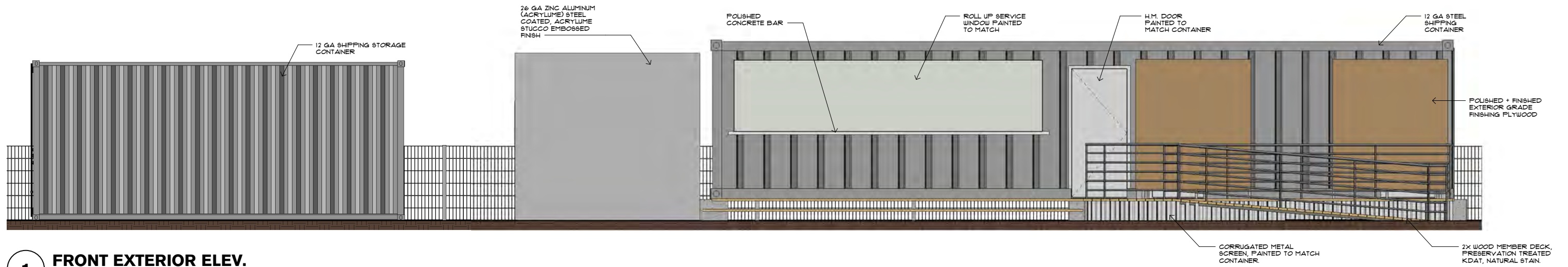


PREVIOUSLY APPROVED SITE PLAN



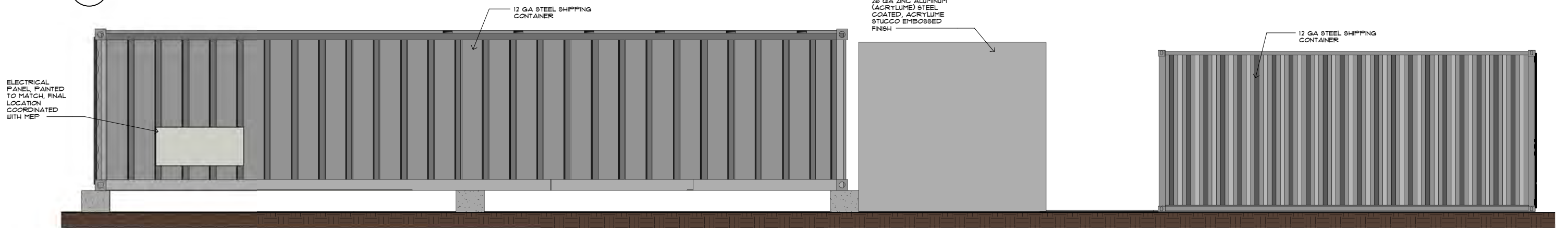
- 1 Landscape area.
- 2 Permeable gravel pavement per Civil.
- 3 Existing tree to remain.
- 4 Equilateral Triangle 24"x24" Sun-Shade and associated support columns, cables, and mounting hardware furnished by the owner for installation by the General Contractor.
- 5 Sunshade support column, see Structural for supporting steel columns and concrete footing, General Contractor to provide Eye-Hooks mounted on poles for securing sun shades. Final placement of columns to be coordinated with Owner.
- 6 Washed gravel leveling pad per Structural.
- 7 Gate post.
- 8 Gate to match fencing.
- 9 8' wide Main Entry Gate.
- 10 Shipping container bar.
- 11 Patio deck to match height of finished floor of container bar. Provide concrete footings. Framing members shall be 30 year ground contact rated preservative treated wood, KDAT.
- 12 Patio deck TAS accessible ramp at maximum 1:12 slope.
- 13 Deck stair.
- 14 Existing fence to remain
- 15 Crushed granite food truck parking space.
- 16 Concrete flush curb at perimeter of parking space and landscape areas.
- 17 6x6 preservative treated wood post 4' high in concrete footing, to support for GFCI waterproof power outlet on dedicated circuit and freeze proof hose bib.
- 18 Landscape elements to be supplied by owner. Verify final placement with owner.
- 19 Square 20"x20" Sun-Shade and associated support columns, cables, and mounting hardware furnished by the owner for installation by the General Contractor.
- 20 Existing sidewalk to remain.
- 21 Fencing. Designmaster Contempo or Architect approved equivalent. Color selected by Architect. See Detail D6 & E6/A100.
- 22 Outdoor Cooler. Type and Final location to be specified by Owner.
- 23 Shipping container for dry goods storage. Provide power for interior lighting.
- 24 6" high concrete curb per Civil.
- 25 Concrete driveway apron per Civil.
- 26 Provide Power and freeze proof hose bib at pole for lighting and misting fans. Final location of hose bibs to be coordinated with Owner.
- 27 Provide two separate duplex outlets on dedicated circuits.
- 28 Existing brick paving to remain.
- 29 Guardrail.
- 30 7" high plywood privacy fence at restrooms, mounted 6" A.F.F.
- 31 Remove existing pipe rail fence.
- 32 Contractor to resolve 1hr fire-rated assembly at walls parallel to property line.
- 33 Remove existing fence.
- 34 Remove concrete slab.
- 35 Remove concrete flush curb.
- 36 Outdoor Ice Machine per Food Service Vendor.

A100



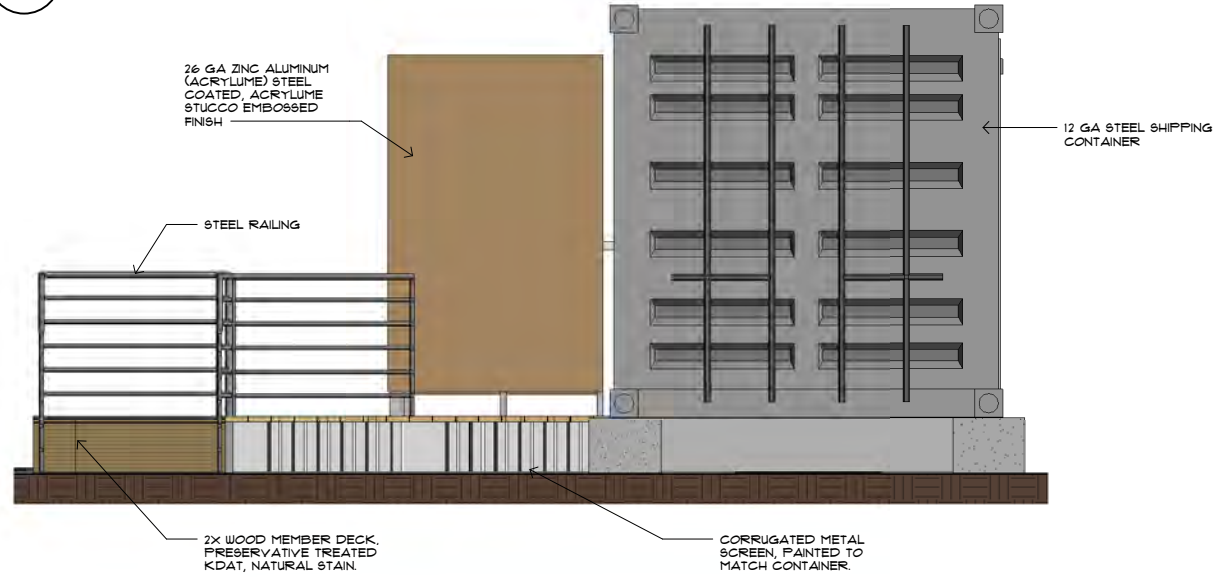
1 FRONT EXTERIOR ELEV.

SCALE: N.T.S.



2 BACK EXTERIOR ELEV.

SCALE: N.T.S.



3 EAST SIDE EXTERIOR ELEV.

SCALE: N.T.S.

PREVIOUSLY APPROVED ELEVATIONS

01

EXTERIOR ELEV.

1810: River Walk Bar and Food Park

R.Ortiz
1009 Ave. B

10/07/19

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16500 SAN PEDRO, STE 235 SAN ANTONIO, TX 78232
IMBIMBO.NET

architecture
+
development

210.403.3636

The entire project is a seasonal art installation.
local cultural artists are invited to re-imagine the design seasonally,
this will keep the project fresh and relevant in an ever changing world



WINTER



SPRING



SUMMER



FALL

PREVIOUSLY APPROVED DESIGN DOCUMENTS



Graphics
1810: River Walk Bar and Food Park
R.Ortiz
1009 Ave. B

11/14/19

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architecture
development

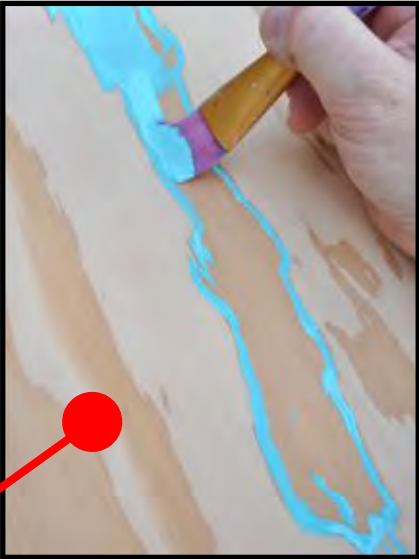
210.403.3636



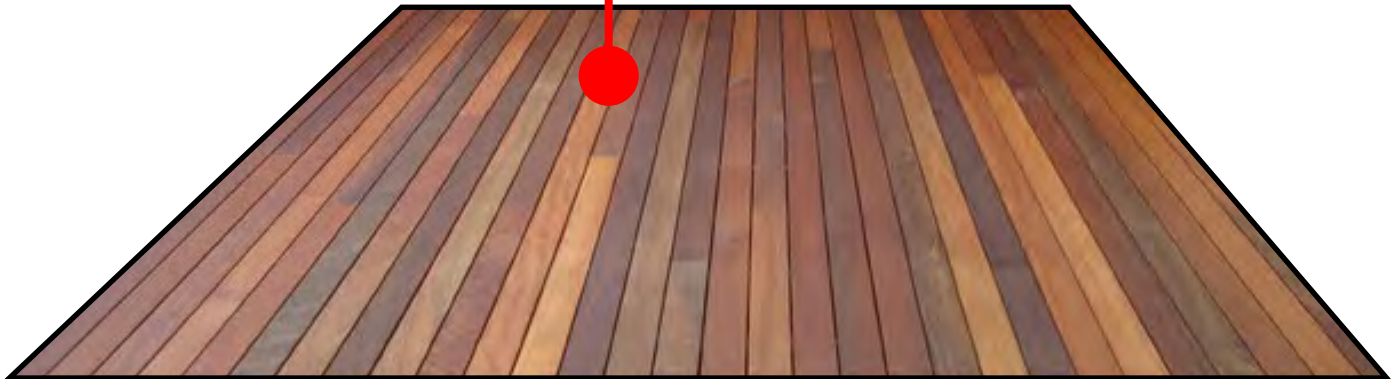
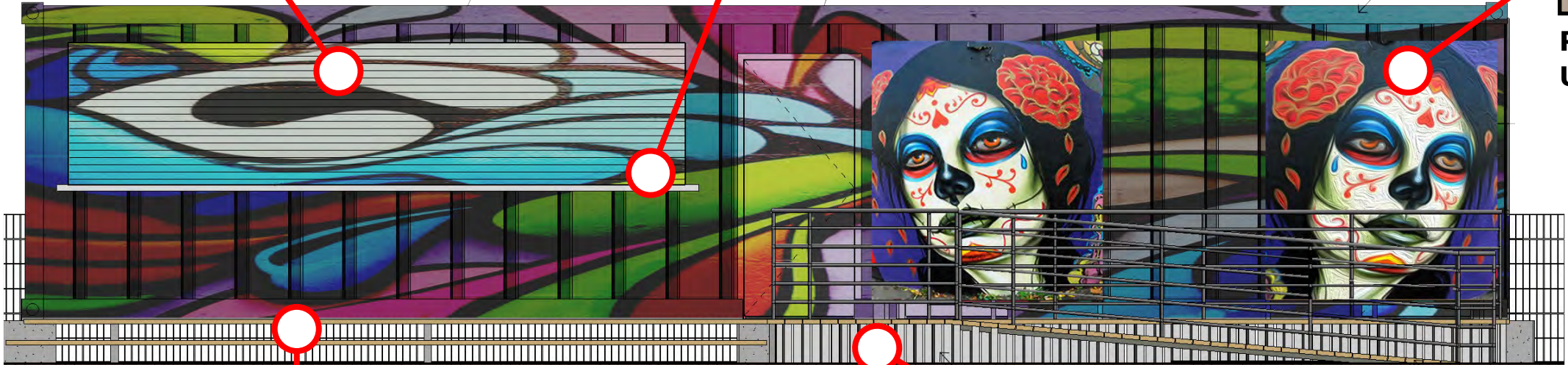
Overhead Counter Door Model 650
Door will be painted to match



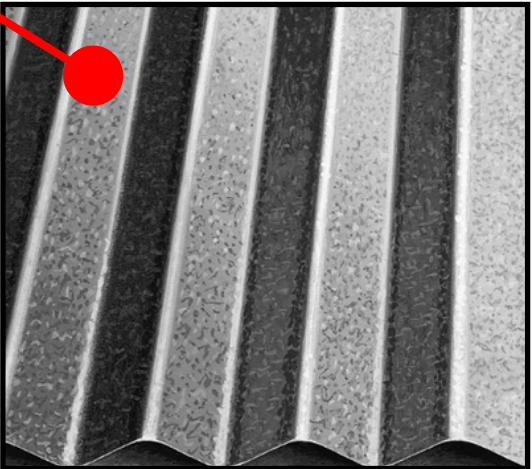
Bar Countertop
Polished Concrete



Replacable Artists Wood Canvas
Used as Restroom Screening



Patio Deck
Stained with Sherwin Williams SuperDeck



Corrugated Metal Screening Around Porch and Container
Galvanized Steel



Container Features

1810: River Walk Bar and Food Park

R.Ortiz
1009 Ave. B

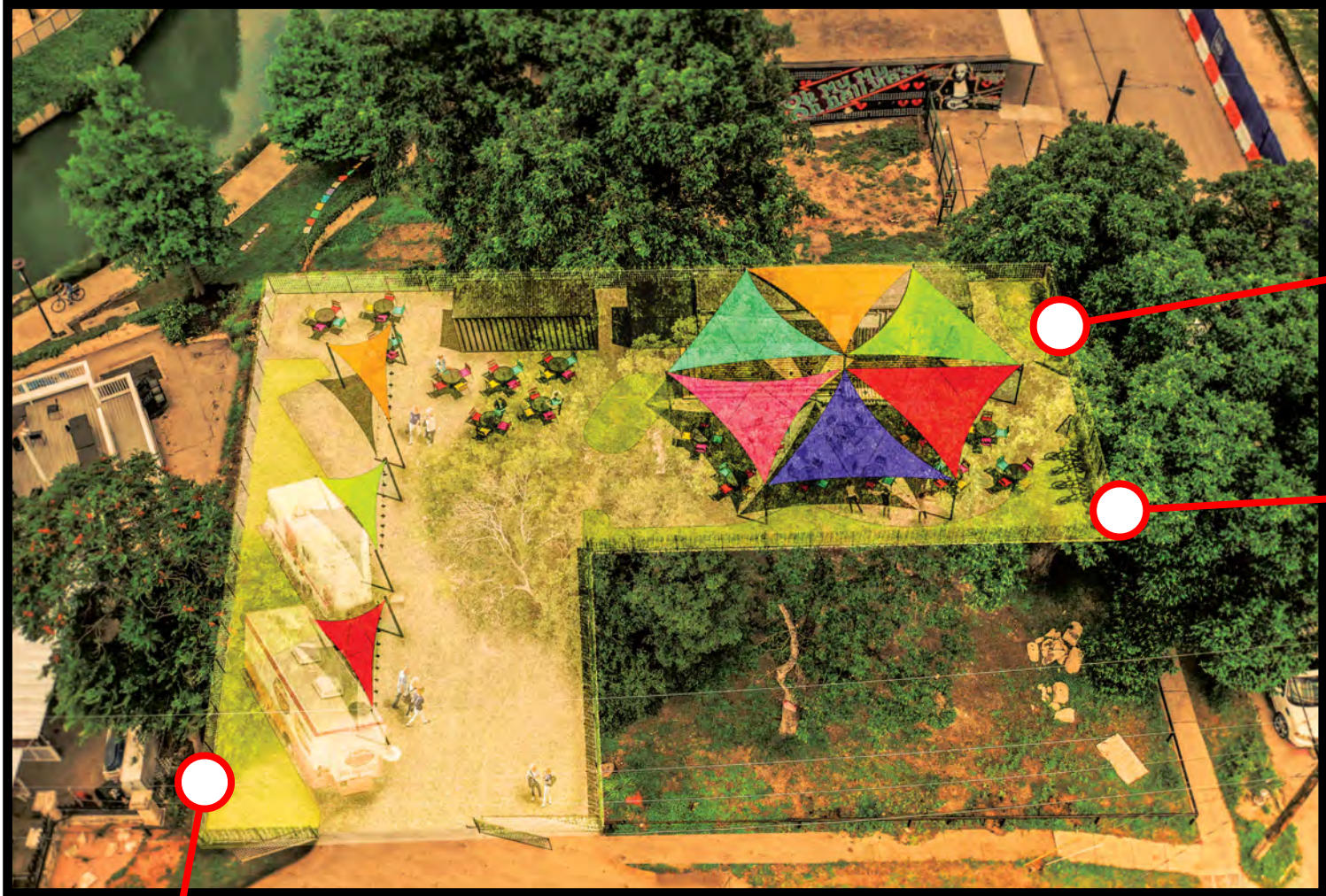
11/14/19

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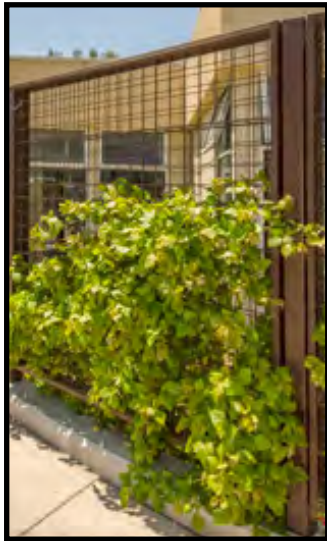
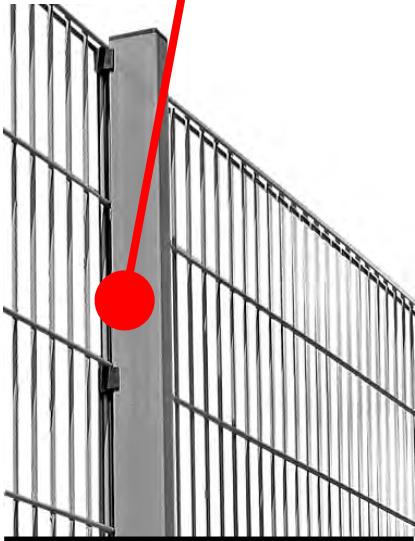
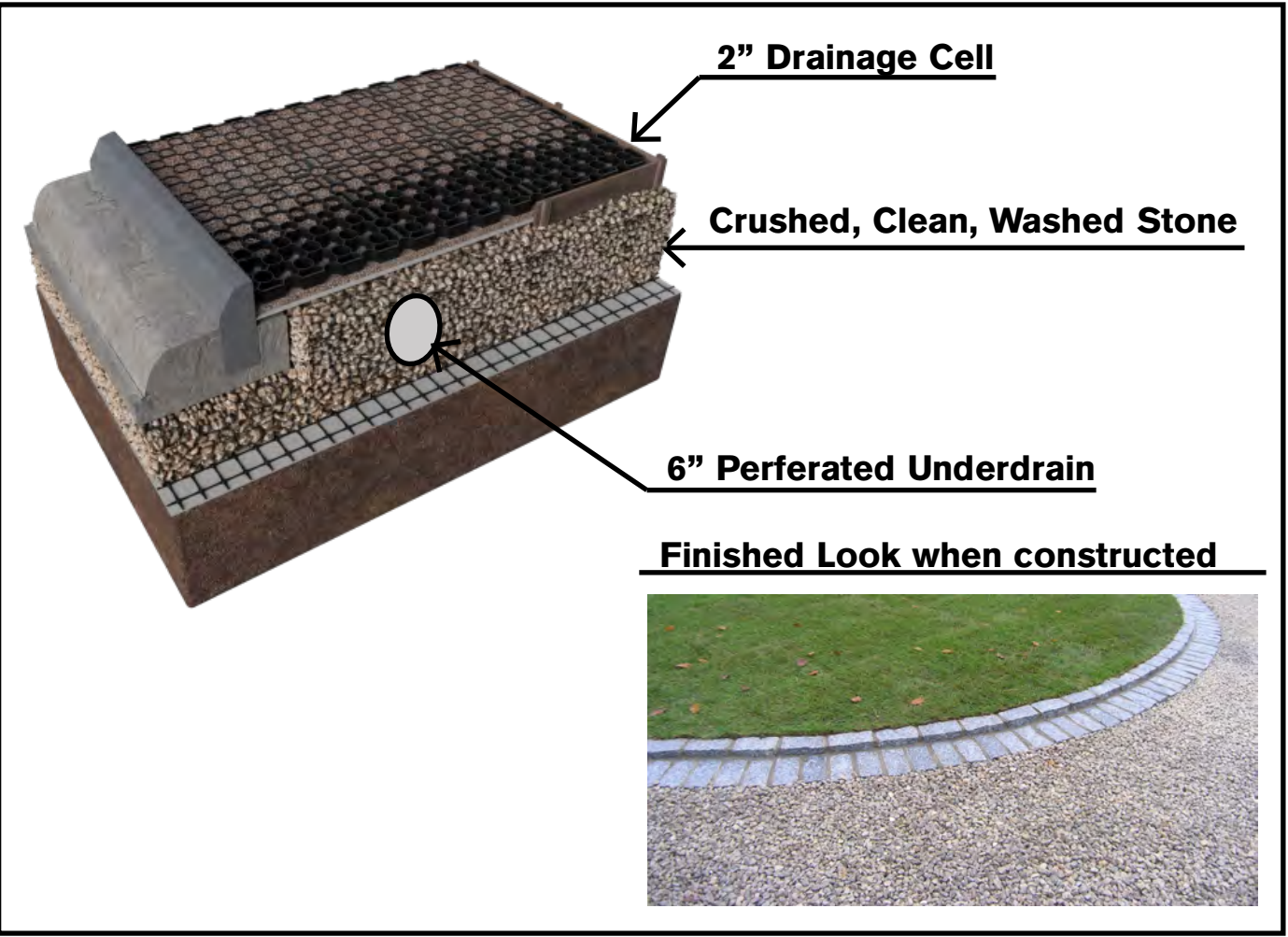


**Landscape Shrubby Placed at Property line
See Civil plans for details**



Public Bike Racks Placed on Ave. B

Low Impact Development Site Design



**Designmaster Contempo Fencing
Placed around entire property,
Will act as trellis for
Confederate Jasmine or other vine**



Site Features

1810: River Walk Bar and Food Park

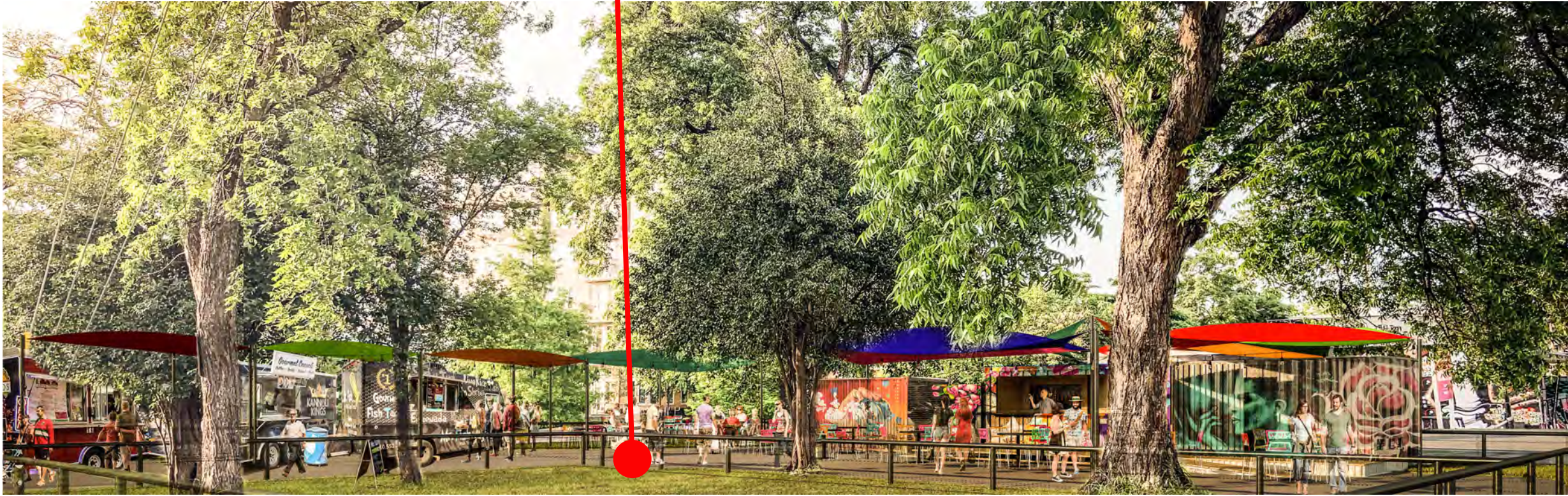
R.Ortiz
1009 Ave. B

11/14/19

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PREVIOUSLY APPROVED DESIGN DOCUMENTS



Site Features

1810: River Walk Bar and Food Park

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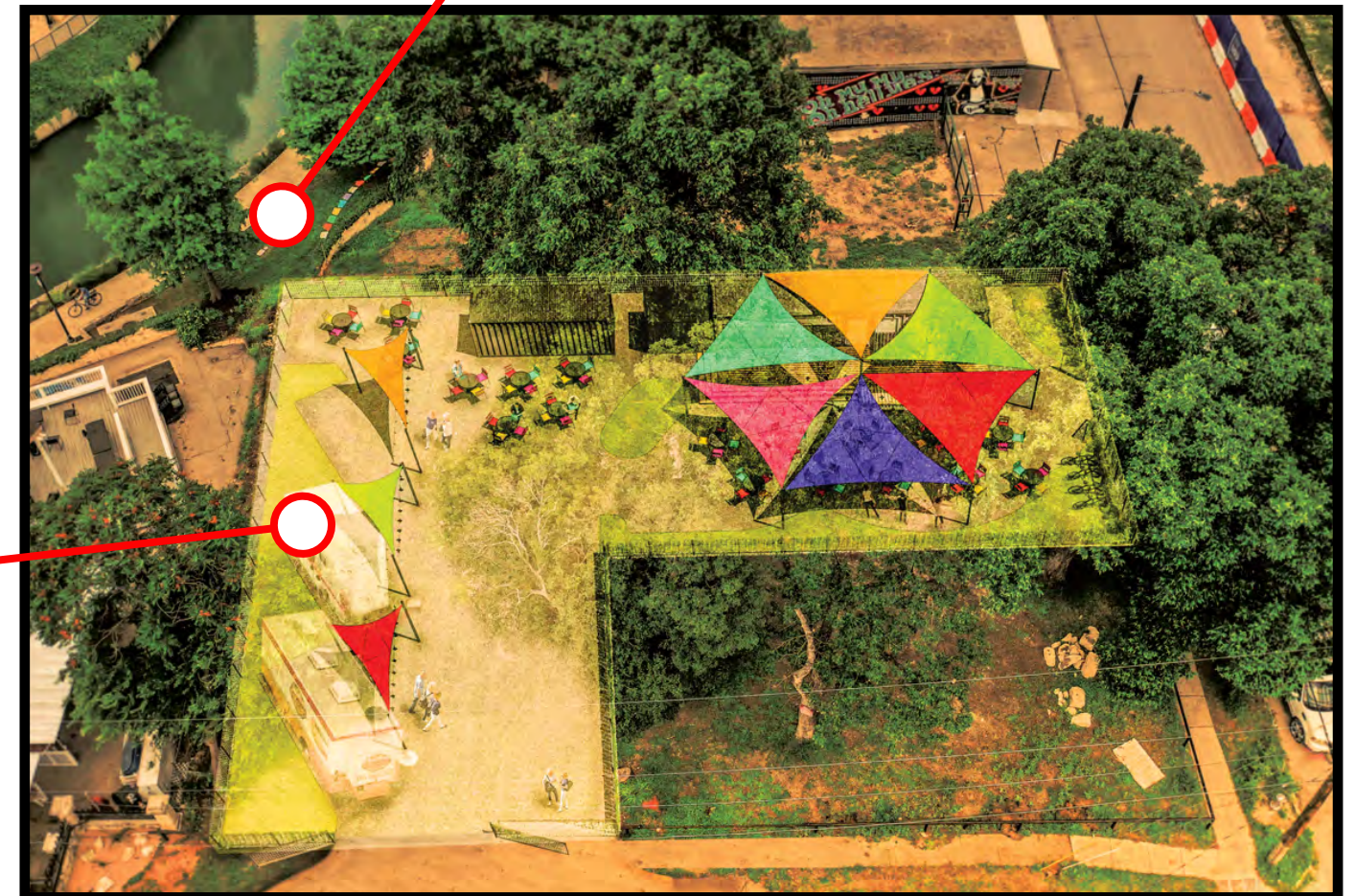
210.403.3636

PREVIOUSLY APPROVED DESIGN DOCUMENTS



FOOD OPTIONS:
A menu that changes daily.
San Antonio Local Food Trucks
will bring 88 Social a unique
and adaptive enviroment.

Site is located above the Riverwalk and with current and new landscaping, will be out of the main line of sight of pedestrians on the Riverwalk. Site will NOT have pedestrian access from the Riverwalk.



Site Features

1810: River Walk Bar and Food Park

R.Ortiz
1009 Ave. B

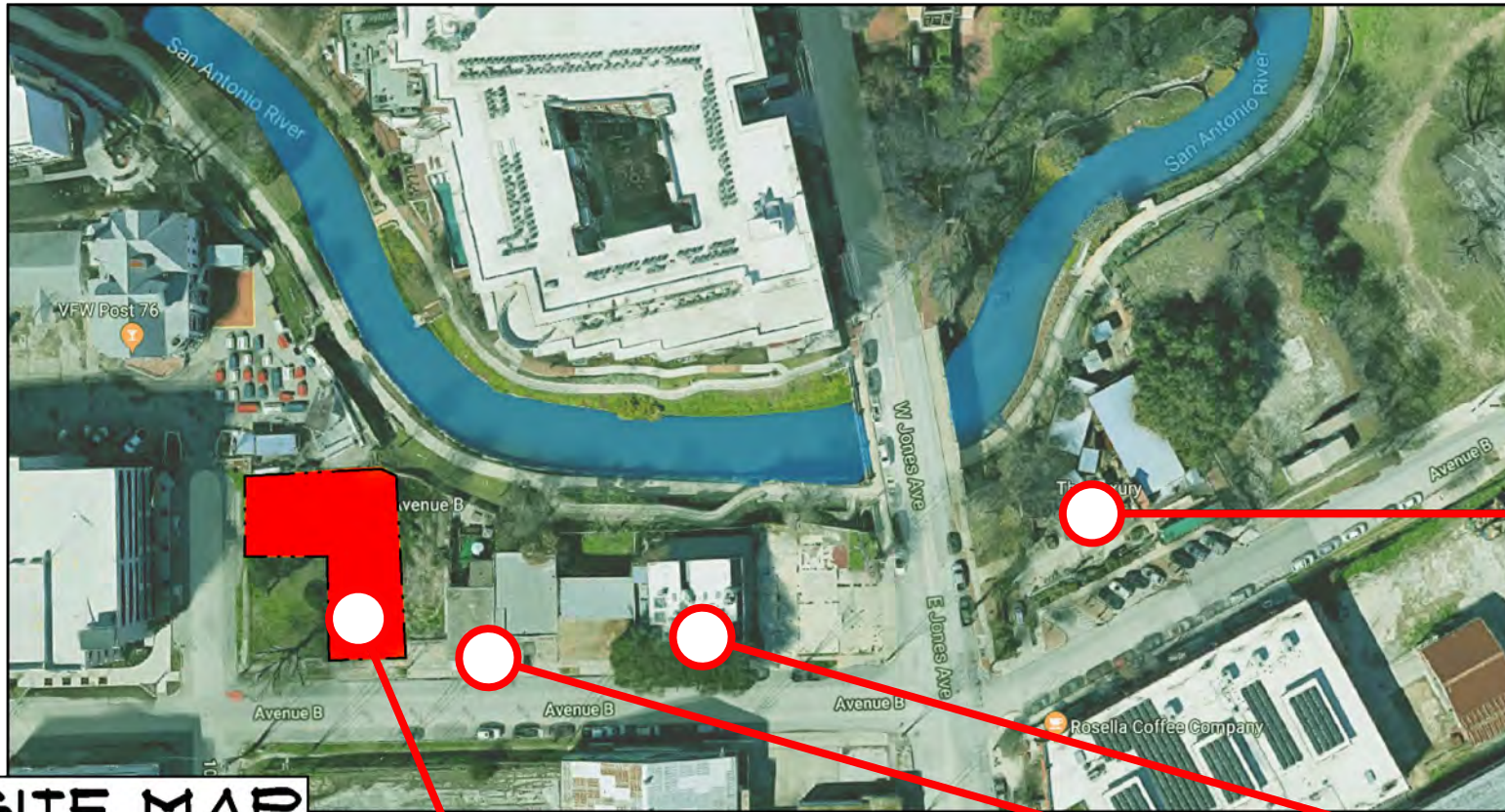
11/14/19

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SITE MAP



THE LUXURY



88 SOCIAL - PROPOSED



VENTURA BAR



AVE B. LOFTS

PREVIOUSLY APPROVED DESIGN DOCUMENTS



Area Precedence
 1810: River Walk Bar and Food Park
 R.Ortiz
 1009 Ave. B

11/14/19

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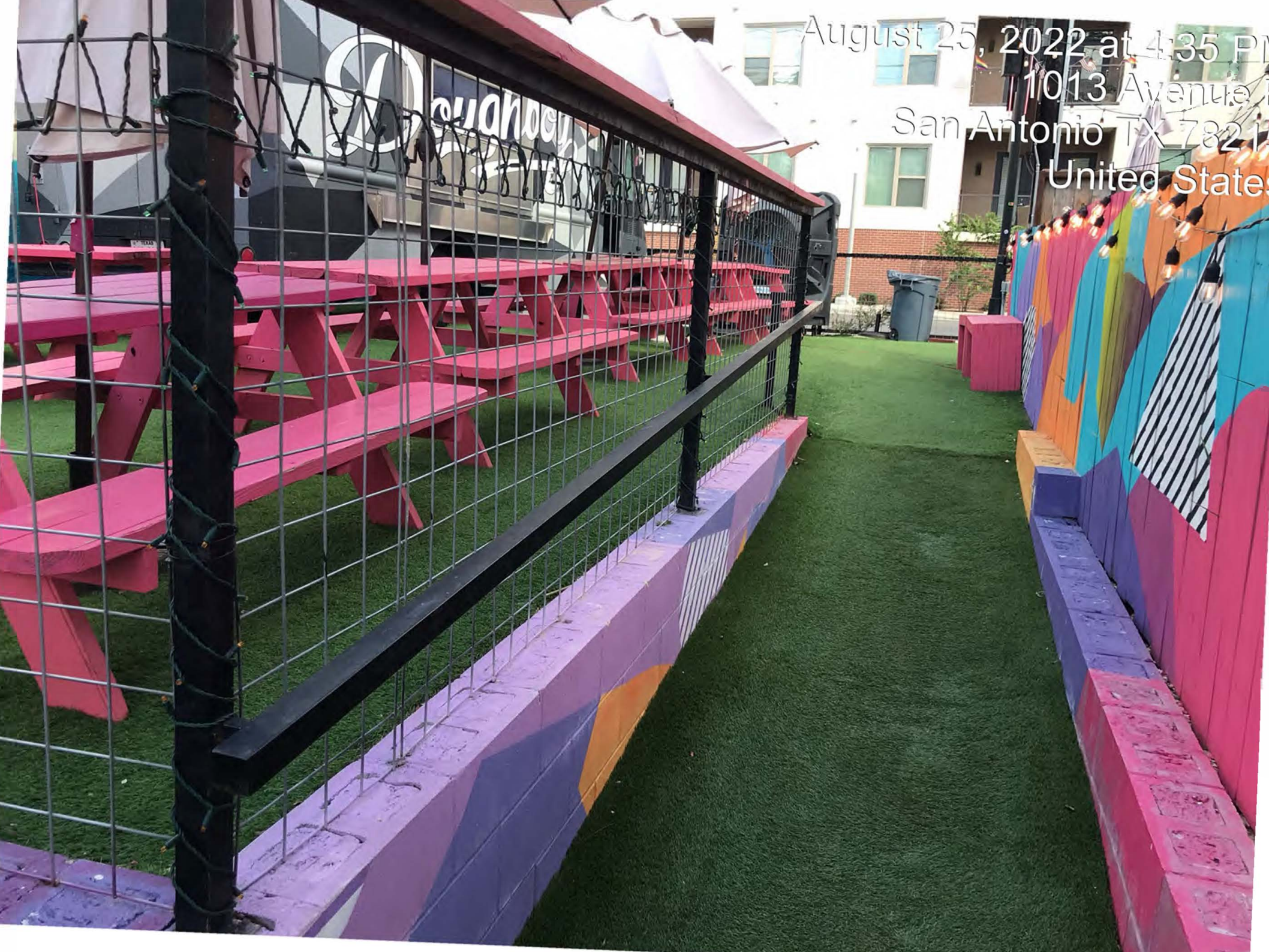
August 25, 2022 at 4:35
1013 Avenue
San Antonio TX 782
United States



August 25, 2022 at 4:35 PM
1013 Avenue E
San Antonio TX 78215
United States



August 25, 2022 at 4:35 PM
1013 Avenue
San Antonio TX 78211
United States



August 25, 2022 at 4:36 PM
1011 Avenue B
San Antonio TX 78215
United States



August 25, 2022 at 4:36 PM
1007 Avenue B
San Antonio TX 78215
United States



August 25, 2022 at 4:36 PM
1005 Avenue
San Antonio TX 78215
United States

The pink-colored awning (pictured) constructed in violation has been removed and is no longer a part of this request.



August 25, 2022 at 4:36 PM
1005 Avenue B
San Antonio TX 78215
United States

The pink-colored awning (pictured) constructed in violation has been removed and is no longer a part of this request.



August 2015
1005 Avenida
San Antonio TX 78215
United States



August 23, 2011
1005 Avenue B
San Antonio TX 78215
United States



The pink-colored awning (pictured) constructed in violation has been removed and is no longer a part of this request.

August 25, 2022 at 4:39 PM
1005 Avenue B
San Antonio TX 78215
United States



August 25, 2022 at 4:39 PM
1002 Avenue B
San Antonio TX 78215
United States







EL CAMINO
RESTROOMS



NO OPEN
ALCOHOL
BEYOND
THIS
POINT



